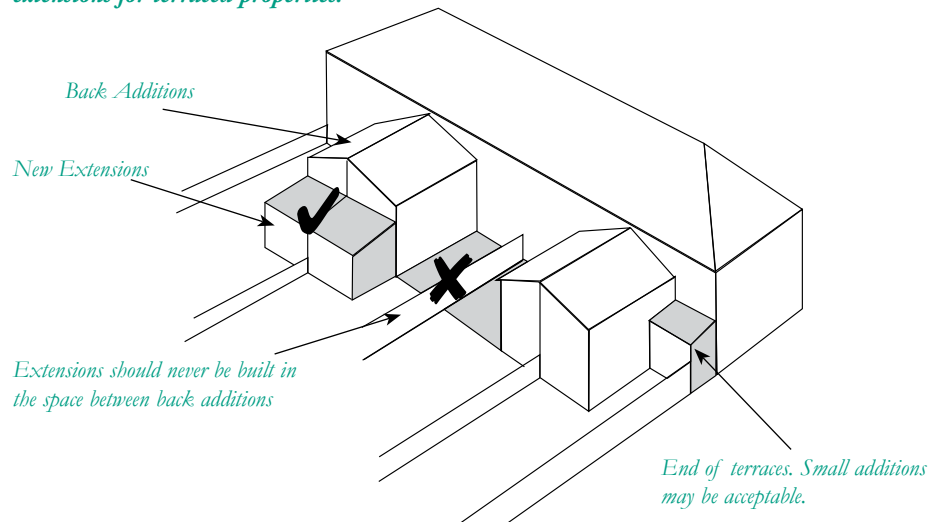


Considerations when designing extensions for terraced properties.



Extensions to Terraced houses



Suitable Extension: Roof abuts below existing eaves. No greater in width than original "back addition".

Original Two Storey Back Addition

Unsuitable Extension: Fills space between properties, hipped end at boundary, roof rises above first floor eaves.

Hipped End

8. Avoid hipped roofs at boundaries, they may shed water over neighbouring property and make it more difficult to add on an adjacent extension. Windows must not directly look into next door. Keep overall height to a minimum to reduce effect on neighbours.
9. Design and materials must match the Victorian character of the estate.



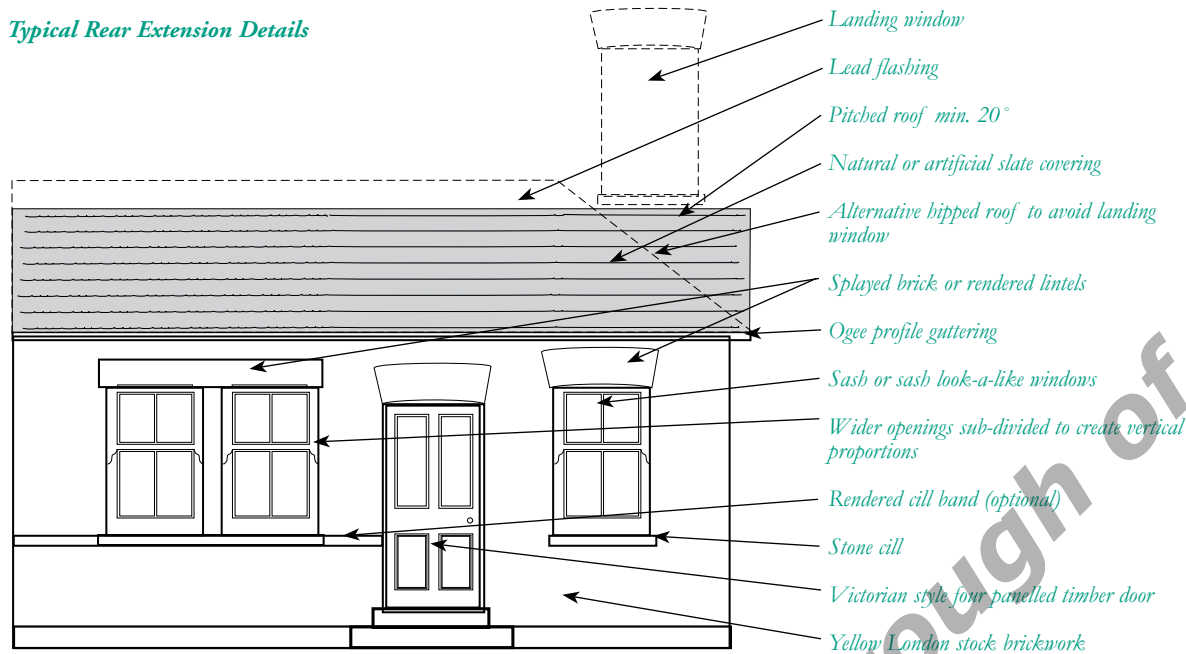
Side extension permitted on an end of terrace house

Design and materials.

The use of features and materials that will harmonise with the Victorian character of the estate is essential even if your house has been altered (is rendered or has modern windows for example). There is no advantage in compounding errors and there is always the opportunity for these to be corrected in the future.

Brickwork must match the brickwork of the house. At the rear this is normally yellow London stocks. These must also be used even if the original brickwork has been rendered, painted or faced in some way. A named brick should be identified at the outset. The best match is achieved using second-hand stocks though new stocks that are dark yellow with ash marks are also acceptable.

Typical Rear Extension Details



Lighter yellows, those with pink hues and faced bricks will look too bright and are not acceptable. Pointing should be straw coloured and slightly recessed. Whilst Stretcher bond is cheapest, Flemish bond will match your house. It can be replicated using snap headers. Further details on brickwork are to be found in "Other Elements" Design Guide.

Windows Individual window openings should have similar proportions to the main house (taller than wide). Wider openings should be sub-divided by stout timber or masonry mullions. Use sliding timber sashes to best match the house style. White coated aluminium sashes or top hung casements that resemble sashes provide an acceptable compromise. Recess all frames by 4.5 inches/115mm. A bold projecting cill in stone is required with drip groove to shed water clear of the brickwork below. Window heads should replicate those of the house.

Roofs must be pitched and slated in natural or artificial slate with a riven finish whether or not the house roof is slated. Use ogee profile guttering.

Doors should be timber four panelled.

Pipework should be located internally where possible; external pipework should be black.

Flues should be put in the least noticeable place. Use balanced flues to avoid tall vent pipes.

Rebuilding existing extensions.

Planning permission is needed for rebuilding. The same guidelines will be applied as for completely new extensions since the final effect on the Conservation Area will be the same. Rebuilding provides the opportunity to replace unsympathetic structures with ones that complement and enhance the area's special character and the value of your house.

Additional extensions.

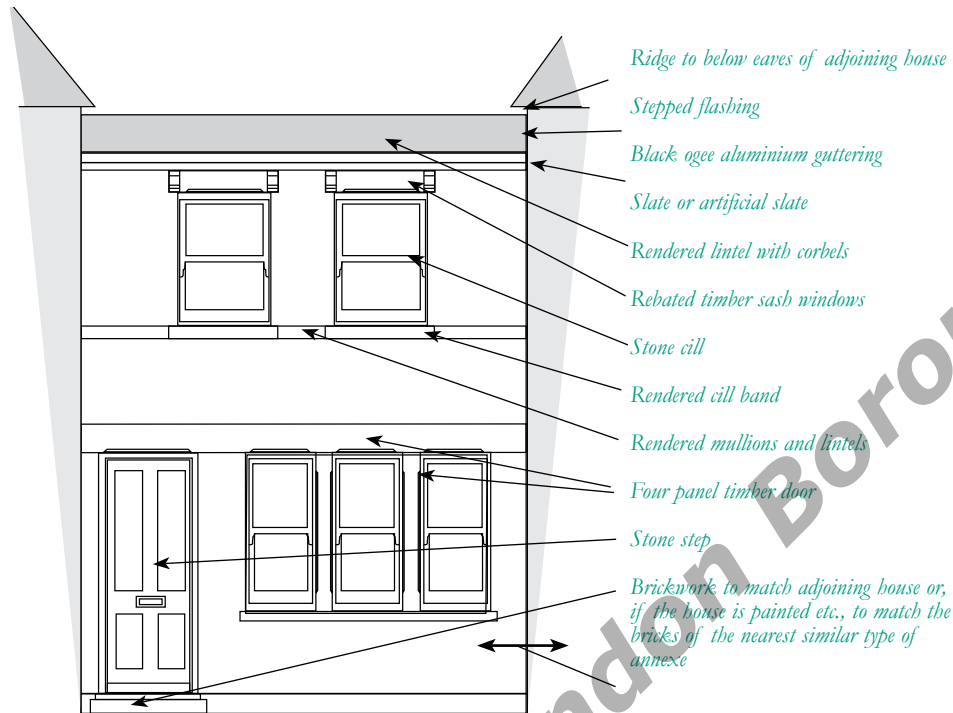
If you wish to build an additional extension the final area occupied by both must not exceed the size limitations set out in this guide and the combined effect of both on the look of your property must be acceptable. You may have to alter the existing one to achieve this.

Side extensions.

Side extensions should replicate the traditional character of the estate, even if the main house has been altered. First floor side additions to an existing annexe are normally permitted if the design copies an original annexe and is to be added to a property of the type that, elsewhere on the estate, has an original annexe. Where a property is not of that type, or where space at the side is particularly limited, side additions should be kept to one storey. This is to

prevent the infilling of the space between terraces, and some semis, that helps

define their form and character. Two storey side additions in other locations e.g ends of terrace or where two one storey annexe adjoin would normally introduce a form, alien to the character of the area, that would be unacceptable.



Materials and features; should replicate those of an original two storey annexe. Choose the details that most closely suit the particular style of the house it extends. It may be necessary to rebuild the ground floor if a first floor is to be added.

Annexe Extensions



Left: House type originally built with two storey annexe.

Below: New two storey annexe built to match original design and materials .



Below: The infilling of narrow gaps such as these by a two storey annexe is not permitted.

Below right: Adding a first floor to one of two adjoining ground floor annexes would normally be unacceptable.





This extension uses materials and features that ensure it successfully blends in with the character of the house and area.

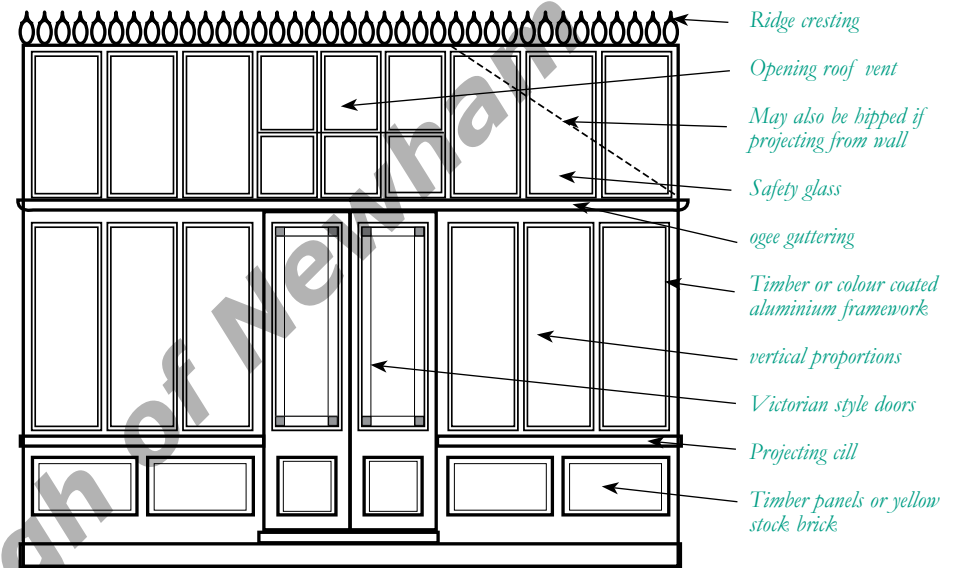
Garage conversions.

Garages are not an original feature of the estate but, if you are proposing to refurbish one, they can be made to fit in better by using traditional side hung timber doors, stock brickwork and a pitched roof. The replacement of an original annexe by a garage would not normally be acceptable. The addition of a residential storey above an existing garage would also usually be considered out-of-character.

Conservatories.

Conservatories are a place for tender plants and can provide an attractive living space halfway between house and garden. They should be of a traditional Victorian design. Similar considerations relating to size, position and neighbours apply as for extensions. However because conservatories are glazed they appear less bulky and allow more light through. For these reasons a conservatory, part of which projects beyond three metres, may be allowed if the projection does not adversely affect neighbours. Generally this means keeping it away from a side boundary.

An acceptable scheme should incorporate the principle features of a Victorian style conservatory are shown in the drawing over the page.



Typical Conservatory Details

1. A timber framework painted white or other approved colour with a modelled and traditionally detailed appearance. Stained timber is not traditional. A dentil course, ridge cresting and finial are traditional features that can help create a traditional look. Many off-the-peg aluminium and UPVC conservatories have wider, flatter frameworks and lack authentic detail. These are unacceptable. However colour-finished aluminium may be permitted if a good traditional appearance is achieved.
2. Vertical proportions to reflect those of the house it extends.
3. Glazing should occupy about three quarters of the height with the lower quarter either in yellow stock bricks or panels. Double-glazing is permissible although be aware that in summer conservatories can become very hot inside. Plastic or other sheeting is not allowed.

4. Ventilation should be either openable top casements or roof vents. The latter may facilitate ladder access to the house wall above.
5. Doors should be panelled. Align the solid part of the door to the same height as the cill. Two doors rather than one gives a more traditional look.
6. Below the windows there should be a projecting cill to shed rainwater
7. The conservatory should have cast aluminium ogee guttering

The Council has trade brochures illustrating different styles with ideas and names of suppliers.

Loggias. (rear canopies)

Some of the larger houses have canopies to the rear. It is always preferable to keep these features as original. Cast iron columns and original tiling should not be lost. Replica columns are available for repair work.



(Above) Original Loggias should be retained. The infilling by extensions, as here, is not acceptable.

(Right) Front extensions usually destroy the character of a house and are thus rarely acceptable.

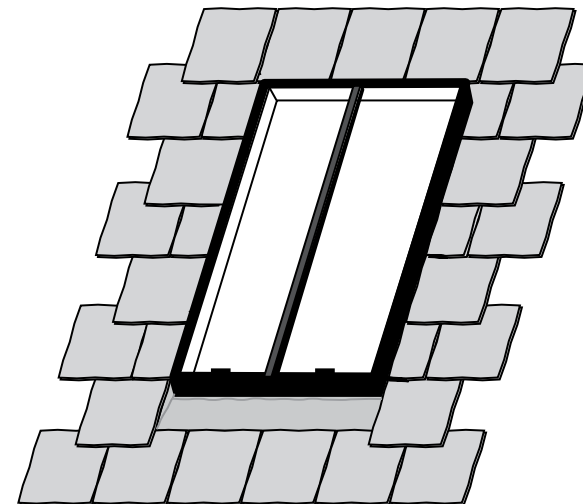


Front extensions.

The character and unity of the Woodgrange street scene depends on the repetition of a limited range of specific house types. Consequently adding front extensions, porches, and remodelling elevations invariably dilutes this characteristic by introducing alien elements. They are thus almost always unacceptable.

Loft conversions.

Dormers are normally not permitted as they would introduce a feature not characteristic of the estate. Roof lights, preferably of the traditional 'Conservation' type, may be allowed, normally to a maximum of two, on slopes not easily seen from the street. They should not be so large or many that they dominate the look of the roof. They are not permitted on front roof slopes.



Conservation type rooflight



Flat Conversions

Design Guide

The Woodgrange Conservation Area.

The Woodgrange Estate was designated a Conservation Area in 1976 with the aim of preserving and enhancing its special character and appearance. More detailed planning controls operate in the area, than elsewhere, to help achieve this.

What requires planning permission?

Planning permission is required for both internal and external works that will turn existing residential accommodation into separate self-contained units and for works that will affect the external appearance of the property.

This guide gives general advice on the type of development that is likely to gain permission. However, as it cannot cover every circumstance, you are strongly advised to seek advice on your individual proposal from the Council's Development Control Officers before getting plans drawn up.

If you do works without planning permission the Council can take legal action, as necessary, to get you to put things right at your own expense. You may also be taken to court and fined.

Other Council consents.

You will also need to satisfy other regulations, principally under the Building Regulations and Housing Acts.

Council policy

Conversion of suitable larger properties will be allowed subject to policies H19 and H20 of the Council's Unitary Development Plan, and to any other restrictions the Council may impose in its duty to pay special attention to the desirability of preserving or enhancing the Conservation Area. This includes restricting front garden parking to one space only (see Front Gardens and Car Parking Design Sheet for details).

Supplementary Planning Guidance "Flat Conversions" should be referred to by applicants. The advice contained in that Note applies to all conversions in Newham subject to any variation required to preserve or enhance the Conservation Area.

Although flat conversions provide lower-cost housing for the growing number of smaller households it is important that their impact on the area's character and appearance is closely controlled. Detrimental changes will be opposed and enhancements may well be required to make the overall impact of a scheme acceptable.

Size of Units

Each new unit should be at least 45 m² (roughly 484 ft²) in area. Minimum room sizes are shown in the table over the page. Each flat must be self-contained with its own separate entrance. This must be achieved behind the original front door.