

### The Woodgrange Conservation Area.

The Woodgrange Estate was designated a Conservation Area in 1976 with the aim of preserving and enhancing its special character and appearance. More detailed planning controls operate in the area, than elsewhere, to help achieve this.

### What needs planning permission?

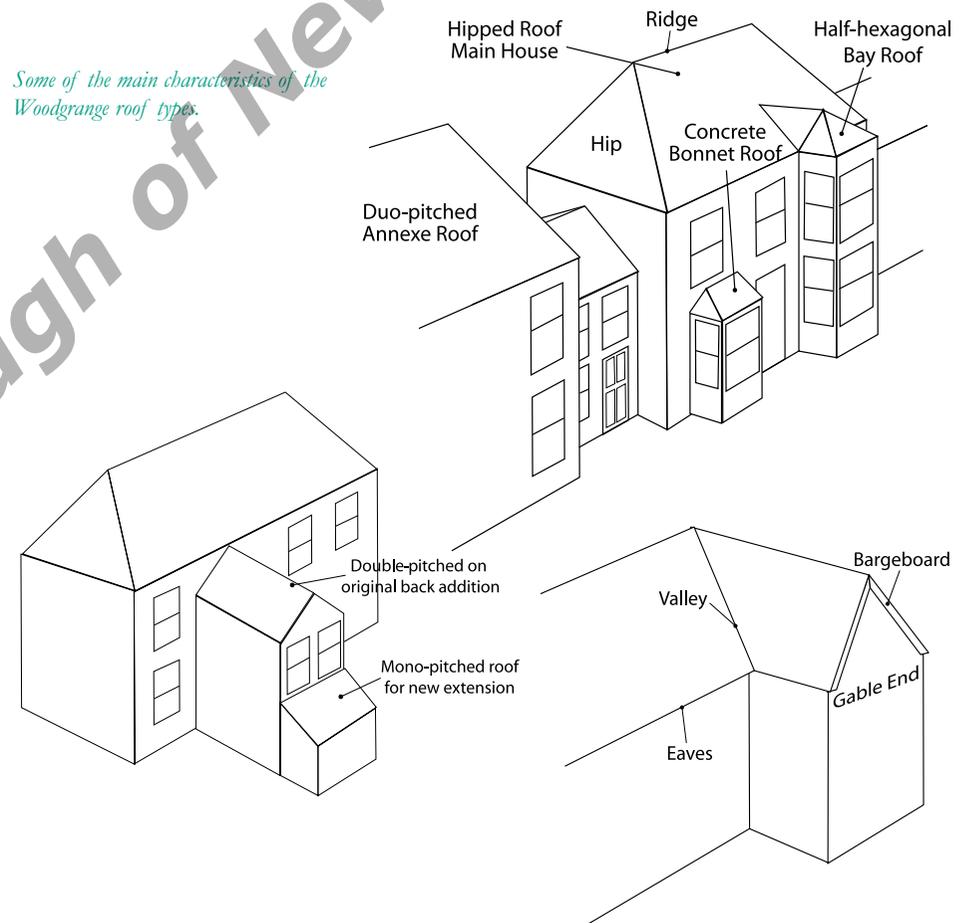
You will need planning permission for most alterations and new building works affecting the outside of your house. This includes changing your roof materials, altering or removing chimneys and other roof details. Further details are given below. This guide gives general advice on the type of development that is likely to gain permission. However, as it cannot cover every circumstance, you are strongly advised to seek advice on your individual proposal from the Development Control team of the Council's Planning Service before getting plans drawn up.

If you do works with-out the necessary permissions the Council will take legal action, as necessary, to get you to put things right at your own expense. You may also be fined

### Other Council consents needed.

You may also require separate approval under the Building Regulations. Enquiries should be made to the Council's Building Control Team. It is essential to note that a grant offer from the

*Some of the main characteristics of the Woodgrange roof types.*



Council's Housing Department does not confer Planning Permission or Building Regulations Approval. No grant will be paid unless you have the necessary permissions.

### The visual character and importance of roofs.

Roofs not only protect your house but are one of its most visible and prominent features. Their shape, covering materials and details are all part of its character and the street in which it stands. It is important therefore that these original characteristics are retained and that new work is undertaken to match.



*Work in progress. If a roof is being re-covered only natural or artificial slate is acceptable.*

### Roofing Materials.

**Slates.** All main roofs were originally covered in Welsh Slate. Its thin, matt, dark grey, flat, precise appearance is a key characteristic of the estate. Because of this all new roof coverings, whether replacing slate roofs or not, must be in

natural or artificial slate. No other material is acceptable.

Natural slate is the best to use because it replicates the original character of the roof. As it is expensive you could investigate reducing costs by re-using some of your existing slates and supplementing them with good second-hands. However it is difficult to rely on quality. Artificial slates provide the next best match to natural slate and can be used for re-roofing. Those made from reconstituted slate tend to have a matt finish like natural slate which is preferable. Other types of artificial slate, usually made of fibre-cement, are more shiny. Select a riven finish and crimped edges. These copy the features of natural slate and look less machine-made.

**Concrete Tiles.** Concrete tiles differ from slate in thickness, scale, texture and colour. Even the flat grey type do not look sufficiently similar. All concrete tiles are therefore unacceptable. Note also that concrete tiles are much heavier. If applied to a previously slated roof that has not been strengthened the roof may sag or collapse. If you have a concrete tiled roof consider re-roofing in slate. Slates will be required when re-roofing is necessary.



*Concrete tiles and roof sealants as shown here look very different from slates and so must not be used on Woodgrange houses.*

Roof Sealants. The original slate roofs are now over a century old and may suffer from delaminated slates (layers peeled off) or have slipped slates because of rusted nails ('nail sickness'). They need replacing. Sealants should not be used. They alter the look of the roof and can split and leak over time because all roofs move (for example with seasonal changes). Sealants also render your slates useless for salvage and re-use.

### Roof Shapes and Details.

**Pitched roofs**, the commonest form of Victorian roof, are a characteristic of the estate and the most efficient form for disposing of rainwater. The shape of those found in Woodgrange changed in line with changes in architectural fashion as the estate developed.

The larger earlier houses have hipped roofs, a shape that emphasises their symmetrical and detached appearance. The humbler annexe, used by servants, has a lower duo-pitched roof reflecting its lower status. Other houses were given single storey bay windows topped by cast concrete bonnet roofs. Later on two storey bays became more popular. Most are found in the later, eastern



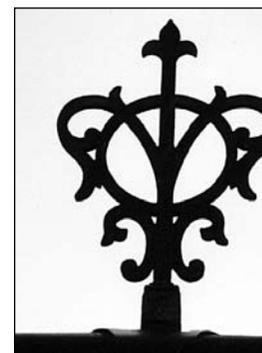
*Roof shapes and details create a distinctive and traditional streetscape*



*Altering the original roof shape and materials destroys the character of individual houses and the coherence of terraces.*

end of the estate. These have small half-hexagonal roofs. Romford Road has some of the largest houses with elaborate roofs incorporating gables, barge boards and finials.

These variations in roof style and detail are part of the historical development of the estate and its individual identity. Consequently



*A decorated bargeboard on one of the larger houses along Romford Road, and two examples of decorative finials one in iron, the other terracotta*

changes which would result in a loss of these characteristics will not be permitted.

The estate's terraced houses share common pitched roofs hipped at each end. Use of slate throughout unifies them visually. Parapet walls and chimneys lend the roofscape a particular pattern. Consequently alterations to their shape, use of non-slate materials and loss of these features will not be permitted.

### Extensions, Dormers, Rooflights and Balconies.

Roofs for extensions must be pitched to complement the style of these houses and should not abut the house above first floor window cill level. Flat roofs are almost invariably unacceptable as they are uncharacteristic of the estate. On a practical note they are also more prone to let in rain and require greater maintenance.

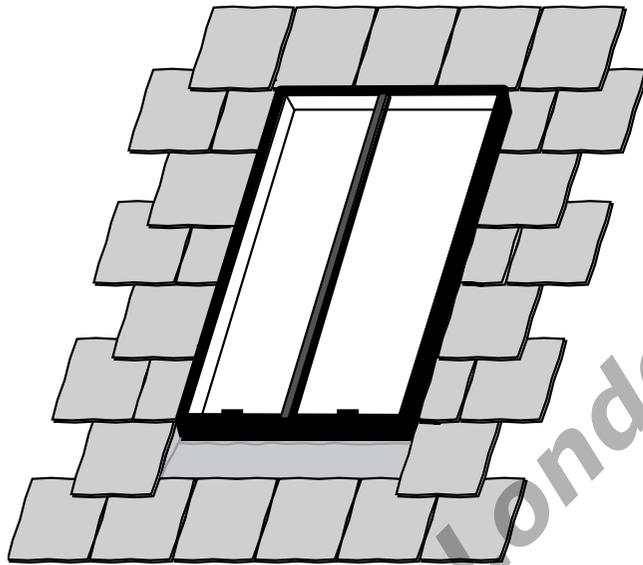


Illustration of traditional rooflight,

Roof terraces and balconies may seem a pleasant idea but usually mean your neighbour's privacy, and sometimes outlook, are harmed. Such alterations are therefore not permitted.

Dormers are normally not permitted since they are alien to the style of the houses and would disrupt their architectural balance and the street-scape.

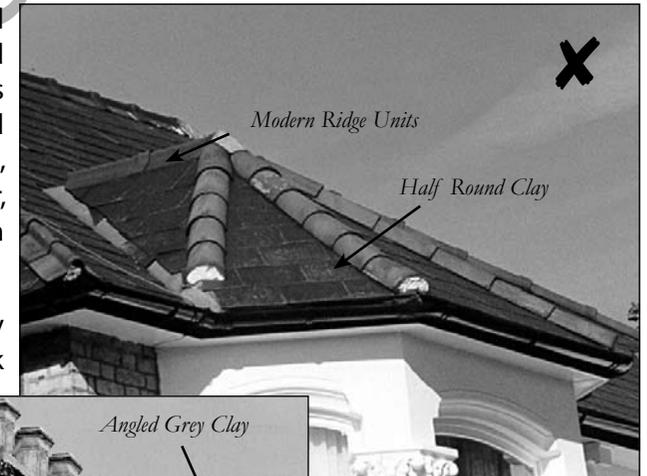
Rooflights change the

form, finish and unity of the traditional roofscape and are therefore not permitted in front slopes or elsewhere if they adversely affect the streetscene. However they may be permitted on other slopes if they do not dominate the roof. Two rooflights are usually the maximum allowed. Reproductions of traditional rooflights are now available and can look more in keeping.

### Roof Details.

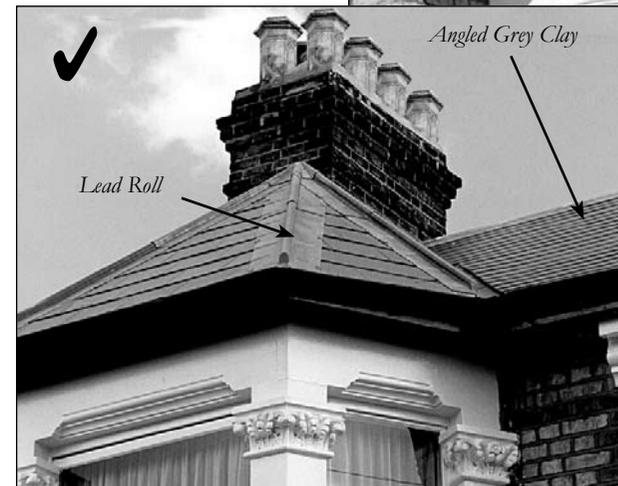
*Flashings.* Use a traditional lead sheeting (called 'flashing') to cover the joins between roof slates and brickwork. Cement fillets, although initially cheaper, soon crack letting in moisture.

*Ridge tiles* should normally be either a smooth dark



Modern Ridge Units

Half Round Clay



Angled Grey Clay

Lead Roll

*Above: Incorrect use of modern ridge units and half-round clay ridge tiles.*

*Left: Correctly finished roof using grey clay angled ridge tiles and lead rolls.*

grey angled tile or a red semi-circular tile depending on the particular style of the house. Look at others close by. Do not use a red tile where a terrace has grey tiles throughout. Lead Rolls should be used on the ridges of small bay roofs. These make a fine, lightweight join appropriate in scale to this small feature. Large ridge tiles look clumsy.

*Cast iron or terracotta finials and bargeboards.* Some houses retain these features which are both a visual and practical method of finishing a roof. Keep or restore all such small details as they give your house its individuality.

*Roof vents and flues.* Roof vents look modern and disrupt the smooth plane of a roof. Eaves ventilation to both sides of a roof will normally suffice. Wherever possible use balanced flues rather than tall flue pipes and site them discreetly.

### Chimneys.

Chimneys enliven the skyline and are a reminder of the Victorian history of the estate. Their position shows how the house was laid out inside and functioned. They should therefore be retained where possible. Planning permission will not be given for the removal (capping off) or lowering of stacks that can be seen from the street.

If your chimney stack appears to be causing a flank wall to bow, get expert advice from a structural engineer. It may be necessary to rebuild part of the brickwork and improve internal ties so that the chimney can be rebuilt and retained. Where mortar joints are crumbling re-point the brickwork rather than render. This preserves the appearance of the stack. The same applies to parapet walls.

Chimney breasts and brickwork flues must not be removed except in accordance with the Building Regulations and the new Party Wall Act 1996. Serious structural and legal consequences can result from ignoring this advice.

### Chimney Pots.

Re-bed any loose pots taking particular care to keep the buff coloured pots which are a special feature of Woodgrange. If some are missing suitable new and salvaged pots can complete the picture.

### Gutters and Down Pipes.

Cast-iron gutters with an ogee profile were used throughout the estate. Replacements can be obtained from specialist firms and salvage companies. However aluminium will also successfully replicate the look if finished in matt black. Downpipes should also be black. Half-round profiles, and grey plastic rainwater goods look modern and are unacceptable.



*Chimneys are part of the character of the estate and must be kept and correctly maintained when they are visible from the street.*

*left; Original hexagonal buff pots*

*below; New buff replacement pots*

